

# RESIDENTIAL SITE PLAN FOR 3146 W. CHURCH STREET

**OWNER:**  
John & Mary Smith  
PO Box 123  
Safford, AZ 85546  
PHONE: (928) 123-4567

**SITE PLAN PREPARED BY:**

ABC Drafting Services  
PO BOX 12345  
THATCHER, AZ 85552  
Contact: Adam Stevenson  
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(928) 555-1212

**SITE DATA**

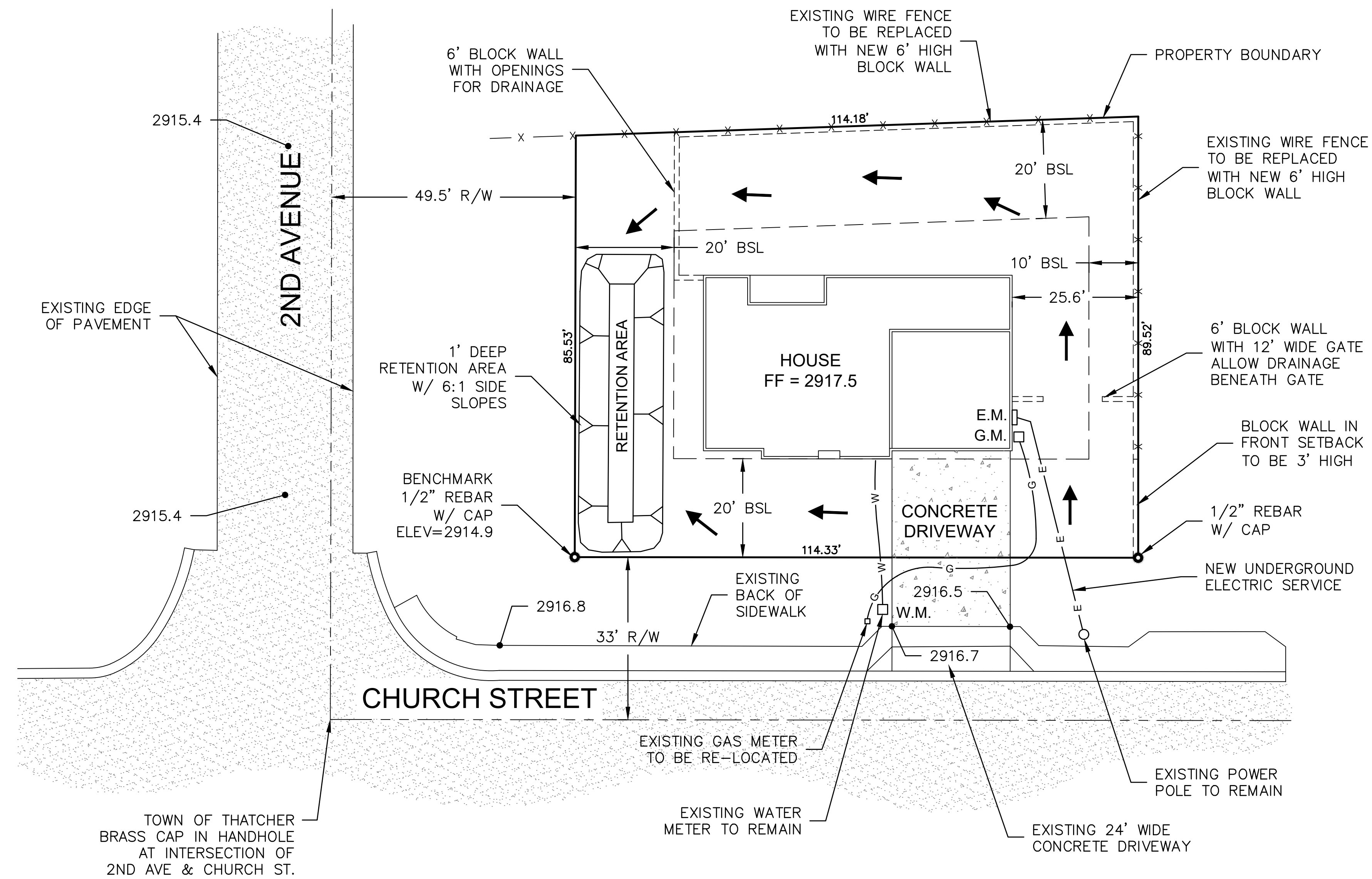
PARCEL #:	104-09-006A	MH
EXISTING & PROPOSED ZONING:		
LOT AREA:	9,997 sf	
TOTAL ROOF AREA:	2,190 sf	
LOT COVERAGE:	21.9%	

**FEMA FLOOD ZONE:**

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04009C15000, DATED SEPTEMBER 28, 2007, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X" (AREA OF MINIMAL FLOOD HAZARD).  
(MAPS AVAILABLE AT MSC.FEMA.GOV)

**BENCHMARK**

REBAR WITH PLASTIC CAP AT SOUTHWEST CORNER OF PROPERTY.  
ELEVATION = 2940.50 (PROVIDED BY THE TOWN OF THATCHER)



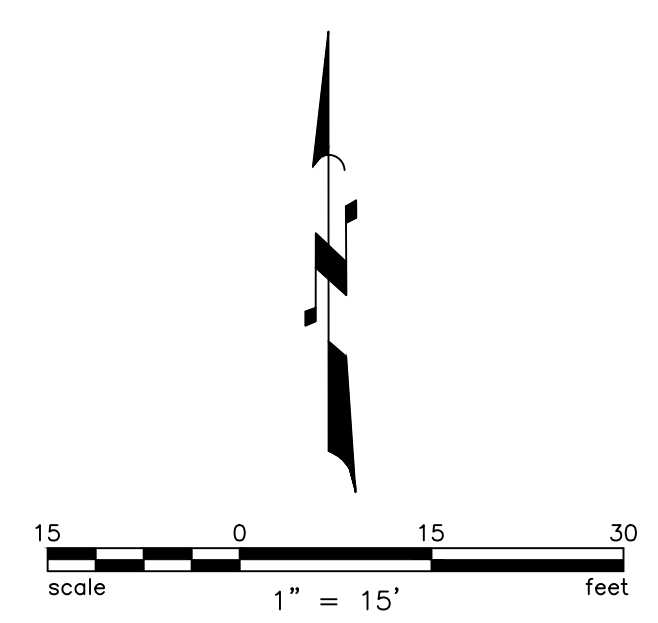
**SITE PLAN NOTES:**

- LOCATIONS OF CURB, SIDEWALK, STREETS, EXISTING UTILITIES & FENCES ARE FROM AERIAL PHOTOS AND ARE APPROXIMATE.
- THE BENCHMARK ELEVATION AND SPOT ELEVATIONS SHOWN WERE PROVIDED BY THE TOWN OF THATCHER ENGINEER ON (DATE).
- THE FINISHED FLOOR ELEVATION SHOWN IS A MINIMUM ELEVATION. IT MAY BE HIGHER BUT CANNOT BE LOWER THAN THE ELEVATION SHOWN. THIS ELEVATION WAS PROVIDED BY THE TOWN OF THATCHER ENGINEER ON (DATE).
- LOTS IN PLATTED SUBDIVISIONS SHALL BE REQUIRED TO ADHERE TO RETENTION AND FINISHED FLOOR REQUIREMENTS AS PER THE APPROVED PLAT. FOR NON-SUBDIVISION LOTS, EACH LOT SHALL RETAIN ITS WATER AND NOT CAUSE INCREASE IN RUN-OFF FROM THE PRE-DEVELOPED CONDITION.

**DRAINAGE NOTES:**

THE VOLUME OF WATER REQUIRED TO BE RETAINED SHALL BE AT LEAST THE DIFFERENCE BETWEEN PRE-DEVELOPMENT AND POST-DEVELOPMENT RUN-OFF. THE TOWN OF THATCHER CAN HELP TO DETERMINE THE REQUIRED RETENTION VOLUME.  
FOR THIS LOT, A MINIMUM VOLUME OF 500 CUBIC FEET IS REQUIRED.

LEGEND	
←	FLOW ARROWS
FF	MINIMUM FINISHED FLOOR ELEVATION
E.M.	ELECTRIC METER
G.M.	GAS METER
W.M.	WATER METER
BSL	BUILDING SETBACK LINE
R/W	STREET RIGHT-OF-WAY
==	PROPOSED BLOCK WALL
2915.4	EXISTING ELEVATION



**APPROVED BY:**

TOWN OF THATCHER ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
THE TOWN APPROVES THIS SITE PLAN FOR CONCEPT ONLY.  
ALL CODES AND ORDINANCES MUST BE FOLLOWED.

ABC Drafting Services  
PO Box 12345  
Thatcher, AZ 85552  
(928) 555-1212

RESIDENTIAL SITE PLAN  
SMITH RESIDENCE  
3146 W. CHURCH STREET, THATCHER, AZ

PRELIMINARY  
NOT FOR  
CONSTRUCTION

JOB NO. 2021-1234
SITE PLAN
SHEET NO. 1
1 OF 1